



Llywodraeth Cymru
Welsh Government

Ysgolion yr 21ain Ganrif
21st Century Schools

WELSH GOVERNMENT

Property Condition and Suitability Report

King Henry VIII Comprehensive School

10/08/2016



Document status					
Revision	Date	Status or comment	Prepared by	Checked by	Authorised by
-	10/08/2016	Issue	Sam Skidmore	C Ball	J Edwards
-	-	-	-	-	-

DISCLAIMER

This document and its contents have been prepared and are intended solely for the Client's information and use in relation to the assessment of the current condition and suitability of King Henry VIII Comprehensive School.

Faithful+Gould assumes no responsibility to any other party in respect of or arising out of or in connection with this document and/or its contents.

COPYRIGHT

The copyright of this document is vested in Faithful+Gould. This document may not be reproduced in whole or in part without their express written permission.

CONTENTS

0.0	CONTENTS	2
1.0	EXECUTIVE SUMMARY	3
2.0	INTRODUCTION	7
3.0	CONDITION SURVEY	9
4.0	SUITABILITY SURVEY	23
5.0	APPENDIX A - LOCATION DRAWINGS	

1.0 EXECUTIVE SUMMARY

Comparison of Condition and Suitability Scores

Block Details			Condition			Suitability	
No.	Block Name	GIA	F+G	Existing	EC Harris	F+G	Existing
1	Building A	5713	C-	-	-	B	-
2	Building B	3347	C-	-	-	C	-
3	School Gym	444	C	-	-	B	-
4	Demountable 701&702	50	B	-	-	B	-
School			C-	C	C	C	C

The table above shows the overall condition grades and suitability grades as determined by Faithful+Gould, compared to the existing Local Authority data from 2016, and the EC Harris survey data from 2010.

Survey and Grading Methodology

Faithful+Gould were appointed by Welsh Government to undertake a survey of the school utilising the AMP methodology to determine an overall school condition grade.

The AMP methodology is utilised on a block by block basis, with each building broken down into the 12 major elements; Roofs, Floors and stairs, Ceilings, External walls, Windows and doors, Sanitary services, Redecorations, Fixed furniture and fittings, External areas, Playing fields Mechanical services and Electrical services. These elements are assessed across the whole of the block, and a grade (A – D, see section 3.0 for details on grades) applied based on the overall condition of that element at the time of the survey based on a visual inspection.

Determining Block Condition Grade

Faithful+Gould, in conjunction with Welsh Government, have developed a hierarchy for the elements, based on the impact that failure of the specific element would have on the operation and service provision of the school. Using this hierarchy, each element was given a different weighting in relation to their impact on the overall condition of the Block.

As each element within the block is graded, this in turn allocates a number of points determined by the condition (A = 1, B = 2, etc.) and the weighting factor applied to each element (Mechanical = 1.9, Roof = 1.95 etc.). The cumulative total of the points for each of the elements determines the overall grade applied to the block as a whole;

Element	Factor	A	B	C	D	Percentage
		1	2	3	4	
Roofs	1.95	1.95	3.9	5.85	7.8	18%
Mechanical	1.90	1.9	3.8	5.7	7.6	17%
Electrical	1.90	1.9	3.8	5.7	7.6	17%
Sanitary services	1.80	1.8	3.6	5.4	7.2	16%
Ext. walls, windows & doors	1.40	1.4	2.8	4.2	5.6	13%
Internal walls & doors	1.20	1.2	2.4	3.6	4.8	11%
Floors and stairs	0.30	0.3	0.6	0.9	1.2	3%
Redecorations	0.20	0.2	0.4	0.6	0.8	2%
Fixed furniture and fittings	0.10	0.1	0.2	0.3	0.4	1%
Ceilings	0.10	0.1	0.2	0.3	0.4	1%
External areas	0.10	0.1	0.2	0.3	0.4	1%
Playing fields	0.05	0.05	0.1	0.15	0.2	0.5%
	11.00	11.00	22.00	33.00	44.00	

Applying Weighting to the Block

Instead of letting each block have an equal impact on the overall condition grade of the school, Faithful+Gould and Welsh Government, have utilised the gross internal area of each block as a percentage of the overall GIA for the school to determine the impact that each block has on the overall grade.

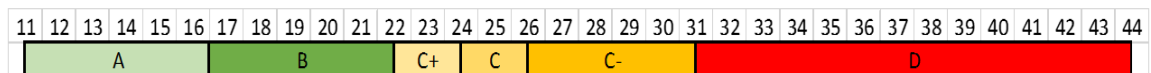
For example - a school with an overall GIA of 1000m², made up of 3 blocks; Block 1 is 500m², Block 2 is 300m² and Block 3 is 200m². The condition of Block 1 would contribute 50% of the overall school grade, with Block 2 contributing 30% and Block 3 the other 20%.

We have utilised the floorplans and gross internal areas provided prior to the programme of surveys commencing. Where these were not provided, the surveyors undertook a high level assessment to determine the gross internal areas of each block.

This methodology provides a consistent means of weighting the blocks across the entire sample of schools surveyed. This method of weighting has also been utilised to the Suitability survey.

Establishing the Overall Condition Grade of the School

Once the block weighting has been applied to the cumulative block condition scores, and an overall school condition score established, the score will indicate the overall school condition grade, based upon where it lies within the below ranges. The diagram below shows the range which each condition grade covers;



NOTE: The overall school condition grade C has been split into C+, C and C- to allow for additional granularity in the grading of the schools.

Identified Maintenance Costs

Block Details			Estimated Costs	
No.	Block Name	GIA	Backlog Maintenance	Projected Avg. Annual Costs
1	Building A	5713	£766,264.00	£68,556.00
2	Building B	3347	£372,730.00	£40,164.00
3	School Gym	444	£83,550.00	£5,328.00
4	Demountable 701&702	50		£600.00
School			£1,222,544.00	£114,648.00

Estimated Cost Build-up Methodology

The backlog maintenance costs are the summary of any costs identified to bring a major element back up to condition B (by block) plus any minor defects/isolated works noted on site during the inspection within the same block (spot items).

Projected Average Annual Costs

The projected average annual maintenance cost for this school has been established using a £/sqm rate. The rates utilised throughout this programme are £16 per square metre for a Primary School, and £12 per square metre for a Secondary School.

These rates have been determined through review of established industry benchmark rates, and then the development and implementation of our own annualised maintenance budget profile for both a mean primary and mean secondary school. This has been prepared using the RICS NRM 3 standard cost template for maintenance cost estimating, to which we have inserted quantities taken from the mean schools asset registers. The salient details were then inserted into a Planned Preventative Maintenance schedule using core SFG20 standard task schedule details (task frequency, task times, and skilling etc.), to provide a total annualised resource build up.

Please note the rates are exclusive of VAT and contingency. The rates also do not include for the following; I.T. equipment, building fabric elements, loose and fixed furniture and fittings.

2.0 INTRODUCTION

Faithful+Gould has been instructed to undertake a survey of King Henry VIII Comprehensive School to include the fabric, mechanical and electrical condition, the suitability and provide backlog maintenance and projected annual average maintenance costs.

The inspection is non intrusive in nature and a "visual only basis". The survey will document the condition and suitability at the time of the inspection on a block by block basis indicating general condition as well as specific existing backlog maintenance issues.

The survey was undertaken on site on the 10/08/2016. We did not open up any areas that were not readily accessible and did not take any samples for later testing.

Clarifications and Limitations of the survey

All areas of the buildings were inspected where safe to do so and safe access was available. Flat roof areas were surveyed where they can be safely reached by use of a surveyor 3m ladder or the property's internal access hatch or fixed ladder access.

Pitched roof areas were inspected from the ground using binoculars and from window opening where possible.

Surveys are non-intrusive and based on ready access provided. Our inspection was carried out on a visual basis only. No part of the structure, plant or equipment was opened up for detailed examination or testing. We therefore, where appropriate, make assumptions based on experience of the property type, plant & equipment used.

We cannot guarantee that defects do not exist in those parts of the building, plant & equipment which are concealed, unexposed or not reasonably accessible.

Costs have been derived from standard cost schedules developed by Faithful+Gould from the current version of BCIS, elemental costs for educational units.

We will not carry out or commission specialist tests relating to heating, hot or cold water, electrical and mechanical systems, and drainage or sanitation installation.

We will not inspect flues, ducts, voids or any similar enclosed areas, the access to which necessitates the use of specialist tools, or which will cause damage to fixtures and finishes and, therefore, will be unable to report that any such area is free from defect.

General Details of the School

General Information	
Total Gross Internal Area (GIA):	9554.00 m2
No. of demountables:	1
Equality Act 2010 (any adaptations made?):	P - Some access issues
Accessibility plans in place?:	N - No plans in place
Asbestos management plans in place?:	Y - Plans in place

School Description

Upper school, Block B, and Gym built circa 1961, with Block A circa 1968. School shares its facilities with the leisure centre on site inclusive of utility bills and external grounds.

Main buildings A and B are built using a concrete frame with a mixture of masonry and storey height glazed PVCu window units to facades and elevations.

The school is located on a large site which is shared with the adjacent leisure centre. Due to the leisure centre being a public building the site is open for public access.

Grounds Description

Grounds are shared with the on site leisure centre. The grounds are good although need landscaping to remove uneven surfaces. The school is built on a hill which means egress from the building to the outside is available on all floors (Building A).

Uneven surface surrounding the school meaning accessibility is an issue with students in wheelchairs having difficulty.

School has use of three playgrounds/courts with equipment such as tennis nets, goalposts and fixed basketball hoops. They also have use of a separate Astro turf pitch.

School has use of a large playing field which also has a cricket strip centrally located. With the site being an 'open site' (available for public access), may be issues with safeguarding.

Key Works Undertaken

At the time of survey new tarmac being laid over old paths due to uneven surface causing accessibility issues.

New lighting around the school on a reactive basis, when old lighting failed it is removed and new fittings installed.

New flat roof covering being installed to building A - works commence from 1st September

School gym is having complete refurbishment including decoration throughout, new lighting, new window panes and new flooring. Asbestos being removed.

Lifts and ramps installed 2010 to aid with DDA access.

Parking Facilities

Parking facilities are good around the school which are shared facilities with the leisure centre. Parents have use of the school car park to drop children off. One way system in place with spiked road humps to ensure system is adhered to.

3.0 CONDITION SURVEY

The elements noted within the condition survey schedules will be provided with the following references;

Condition Grading of Element

- A – Good and operating efficiently
- B – Satisfactory but with minor deterioration
- C – Poor with major defects
- D – Bad; life has expired or risk of imminent failure

Priority

Priority 1. Little to no outstanding works required, continued maintenance will enhance the serviceable life.

Priority 2. Potentially work may be required within three to five years that will prevent deterioration of the fabric or services and/or address a low risk to the health and safety of occupants and/or remedy a minor breach of legislation.

Priority 3. Essential work required within two years that will prevent serious deterioration of the fabric or services and/or address a medium risk to the health and safety of occupants and/or remedy a less serious breach of legislation.

Priority 4. Urgent work that will prevent immediate closure of premises and/or address an immediate high risk to the health and safety of occupants and/or remedy a serious breach of legislation.

No.	Block Name	GIA	Aggregate Condition Grade	Backlog Maintenance Costs
1	Building A	5713	C-	£766,264.00
2	Building B	3347	C-	£372,730.00
3	School Gym	444	C	£83,550.00
4	Demountable 701&702	50	B	
School			C-	£1,222,544.00

Individual Block Condition Ratings - Elemental Breakdowns (Fabric)

Block 1 - Building A - 5713m2

	Condition Grading	Priority Grading	Element Description	Element Cost (up to condition B)
Roofs	C	3	Roof is of flat roof construction which is felt covered. Site manager relays the roof is scheduled to have a new roof covering in September, due to current covering failing allowing water ingress.	£105,000.00
Floors and stairs	C	3	Floors are of a mixed standard throughout the school but generally in average to poor condition. Flooring coverings are a combination of vinyl welded sheet which is lifting and / or ripped and carpets which have been replaced to a number of classrooms but are generally lifting and stained throughout.	£79,935.00
Ceilings	C	3	Combination of fixed plaster ceilings, suspended ceilings using mineral tiles and suspended ceilings with timber boarding. Large areas of the block have poor ceilings with cracking, staining and sagging commonplace	£70,500.00
External walls, windows & doors	B	2	Serious cracking noted within walls both internally and externally. Further investigation required, see spot items. Double glazed uPVC Windows in good condition.	
Internal walls & doors	B	2	Solid exposed block work walls throughout. Poorly painted walls throughout which require redecoration. Solid wooden doors with work being undertaken at time of survey installing vision panels to existing doors on an ad hoc basis	
Sanitary services	B	2	All toilets refurbished within the last 5 years but have been subject to vandalism from pupils. Generally in good condition just require redecoration and vinyl replacing where identified in the spot items.	
Redecorations	C	3	Decoration throughout the school generally poor due to water leaks and cracking throughout.	£17,230.00
Fixed furniture & fittings	B	2	Fixed furniture throughout the school generally minimal. In fair condition.	
External areas	C	3	Uneven surface surrounding the school meaning accessibility is an issue with students in wheelchairs having difficulty. Pathways to other blocks available but no sheltered cover externally.	£6,000.00
Playing fields	B	2	School shares its playing fields with the neighbouring property, the leisure centre. Large well kept field with a cricket pitch in the centre of the field.	

Individual Block Condition Ratings - Elemental Breakdowns (M&E)

Block 1 - Building A - 5713m2

	Condition Grading	Priority Grading	Element Description	Element Cost (up to condition B)
Mechanical	C	3	<p>Plant room adjacent main building distributes the heating and hot water services to the lower and upper school.</p> <p>3nr Clyde combustion gas boilers rated at 738kw look to be in a poor condition. Within the plant room block is a motor control panel which controls all the equipment within the plant room and looks to be in a good condition</p> <p>The boilers supply the heating to the lower school & upper school.</p> <p>The buildings hot water comes from 2nr Andrews gas fired water heaters and look to be in a poor condition and recommended for replacement.</p> <p>Attached to each boilers there are extract fans to assist the flues if the boilers. These are original as installed fans and look to be in a poor condition</p> <p>Cast iron radiators fitted throughout the block look to be in a poor condition. Thermostatic radiator valves are fitted to radiators through the building.</p> <p>Hot and cold copper water pipework looks to be in a good condition</p> <p>Steel Pipework through for the gas system looks to be in a good condition and kitchen fitted with gas safety system.</p>	£166,704.00
Electrical	C	3	<p>Main plant room adjacent main building contains Memshield 2 800A LV switchboard which supplies the electricity for the whole school complex and looks to be in a reasonable condition. It supplies two main sub distribution boards and local distribution board in various places throughout the school.</p> <p>Fitted throughout the main building, power is distributed through the used if surface mounted accessories which look to be in a reasonable condition but should be scheduled for replacement as they have exceed their life expectancy. See spot items</p> <p>Majority of the lighting is single surface mounted T8 fittings and surface mounted twin T5 fittings which appear to be in poor condition many of the diffusers for the ,ignite are missing and general level of lighting poor. See spot items for costs.</p> <p>Fire alarm panel aged and at end of serviceable life, replace.</p> <p>Monitored intruder system that covers the whole school, in fair condition.</p>	

TOTAL (Fabric + M&E)	£445,369.00
---------------------------------	-------------

Individual Block Condition Ratings - Elemental Breakdowns (Fabric)

Block 2 - Building B - 3347m2

	Condition Grading	Priority Grading	Element Description	Element Cost (up to condition B)
Roofs	C	3	School roof is of flat roof construction with felt covering. School hall has a pitched steel corrugated roof. Leaks evident throughout the school staining both ceilings and window reveals when running down the inside face of the external walls	£85,500.00
Floors and stairs	C	3	Timber parquet flooring to hall requires sanding and varnishing. School has a combination of vinyl and carpet flooring throughout generally in poor condition. Carpets throughout the school are worn and not bonding. Vinyl sheeting throughout the school is ripped, missing or not bonding. Various flooring requires replacement throughout. Stairs are solid concrete stairs with no nose coverings.	£60,000.00
Ceilings	C	3	Ceilings are a combination of suspended ceilings with mineral tiles and fixed plaster ceilings throughout the school. Fixed plaster ceiling beginning to sag in places and requires replacement plasterboard installation and redecoration.	£20,000.00
External walls, windows & doors	B	2	Most of the windows have been replaced and upgraded with double glazed aluminium units. Minor areas such as the kitchen and various rooms still have the older style steel single glazed units. Cladding panels, full height Windows, brickwork and infill panels used as exterior walling around the school.	
Internal walls & doors	C	3	Exposed brickwork to minimal areas with the majority of the internal walls being plastered and painted over. Generally in fair condition although many areas require redecoration.	£10,000.00
Sanitary services	B	2	Toilets generally good throughout having been recently refurbished. Minor vandalism from students throwing wet tissue paper at ceiling marking/staining the plaster. No defects.	
Redecorations	C	3	School requires decoration throughout due to water ingress. Damp, uneven plaster and salt build up on plaster faces requires complete redecoration. This also includes decoration to ceilings following remedial works.	£17,230.00
Fixed furniture & fittings	B	2	Fixed furniture and fittings mainly within the science classroom. Generally workstations housing gas supply. Although aged generally in good condition. Some science labs have been refurbished with new work tops and desks throughout others are old with timber tops.	
External areas	C	3	Footpath all round the school including ramped access. School would benefit from resurfacing of all pathways.	£6,000.00
Playing fields	B	2	School playing fields are the same as Building A.	

Individual Block Condition Ratings - Elemental Breakdowns (M&E)

Block 2 - Building B - 3347m2

	Condition Grading	Priority Grading	Element Description	Element Cost (up to condition B)
Mechanical	C	3	<p>Cast iron radiators fitted throughout the block look to be in a poor condition. Thermostatic radiator valves are fitted with the he radiators throughout.</p> <p>Hot and Cold water distributed through copper pipework throughout, fair condition.</p> <p>Gas distributed through steel pipework throughout looks to be in a reasonable condition and gas safety systems located in the science area of the block look to be in a good condition.</p> <p>Kitchen extract hood located in the kitchen looks to be in a good conditon</p>	£54,000.00
Electrical	C	3	<p>Power is distributed through surface mounted accessories which look to be in a reasonable condition but should be scheduled for replacement in the medium term as they have exceed their life expectancy.</p> <p>Majority of the lighting is single surface mounted T8 fittings and surface mounted twin T5 fittings which appear to be in poor condition many of the diffusers are missing and general level of lighting poor.</p>	
TOTAL (Fabric + M&E)				£252,730.00

Individual Block Condition Ratings - Elemental Breakdowns (Fabric)

Block 3 - School Gym - 444m2

	Condition Grading	Priority Grading	Element Description	Element Cost (up to condition B)
Roofs	B	2	Main hall is a pitched corrugated metal sheeting roof with felt covering to other areas. Generally in good condition. Drainage is aluminum guttering which is in poor twisted condition and requires replacement. See spot items.	
Floors and stairs	B	2	Good throughout with tiling to changing rooms and wooden surface to main sports hall. Sanded and varnished as part of redecoration works.	
Ceilings	B	2	New ceilings being installed at time of survey. Currently have been plaster boarded awaiting to be skimmed and decorated.	
External walls, windows & doors	B	2	Traditional brick built building with cement render to both gables of the school. Generally in good condition.	
Internal walls & doors	B	2	Tiling to changing room and internal areas. Exposed blockwork within the sports hall itself which has been recently redecorated.	
Sanitary services	B	2	Changing rooms in good condition tiled throughout.	
Redecorations	B	2	Redecoration works ongoing at time of survey.	
Fixed furniture & fittings	B	2	Minimal fixed furniture throughout other than benches within changing rooms which are aged but good condition.	
External areas	B	2	Surrounding tarmac surfaced access paths in good condition. Access ramp installed to side of building.	
Playing fields	B	2	School playing fields are the same as Building A.	

Individual Block Condition Ratings - Elemental Breakdowns (M&E)

Block 3 - School Gym - 444m2

	Condition Grading	Priority Grading	Element Description	Element Cost (up to condition B)
Mechanical	C	3	<p>Remeha Quinta 65 gas condensing boiler installed circa 2010 looks to be in a good condition.</p> <p>Cast iron radiators fitted throughout the block look to be in a poor condition. Thermostatic radiator valves fitted throughout.</p> <p>Window extract fans fitted in the changing rooms of the gym.</p>	£13,500.00
Electrical	C	3	<p>Surface mounted outlets fitted throughout look to be in a reasonable condition but should be scheduled for replacement.</p> <p>Within the main gym track mounted twin fittings look to be in good condition. Within the changing room lights are being replaced to IP65 single/twin surface fluorescents.</p> <p>Wireless fire alarm panel fitted in the boiler room of the building.</p> <p>The detectors throughout look to be in poor condition and should be scheduled for replacement</p>	

TOTAL (Fabric + M&E)	£13,500.00
---------------------------------	------------

Individual Block Condition Ratings - Elemental Breakdowns (Fabric)

Block 4 - Demountable 701&702 - 50m2

	Condition Grading	Priority Grading	Element Description	Element Cost (up to condition B)
Roofs	B	2	Pitched felt roof to block which is generally in good condition.	
Floors and stairs	B	2	Classrooms and corridors throughout the block are carpeted and generally in good condition.	
Ceilings	B	2	Composite laminate panelling used on the ceiling in good condition throughout.	
External walls, windows & doors	B	2	Timber cladding in good condition no rot or delamination identified.	
Internal walls & doors	B	2	Plasterboarded walls throughout the building generally in good condition with minor areas of indentation from impact. Solid wooden fire doors, generally in fair working order.	
Sanitary services	B	2	No sanitary services.	
Redecorations	B	2	Well decorated throughout with good use of posters and notice boards.	
Fixed furniture & fittings	B	2	No fixed furniture.	
External areas	B	2	External area of block is tarmac surfaced paths, slabbed area housing a seating area with wooden picnic benches. Generally in good condition.	
Playing fields	B	2	School playing fields are the same as Building A.	

Individual Block Condition Ratings - Elemental Breakdowns (M&E)

Block 4 - Demountable 701&702 - 50m2

	Condition Grading	Priority Grading	Element Description	Element Cost (up to condition B)
Mechanical	B	2	Hot water comes from the water heater in the plant block. 2nr. Mitsubishi AC wall mounted splits look to be in good condition	
Electrical	B	2	Surface mounted T8 fittings all appear in fair condition. Electrical installation generally in fair condition.	

TOTAL (Fabric + M&E)	
---------------------------------	--

Backlog Maintenance Costs By School- Individual Items

All Blocks **£510,945.00**

Building A **£320,895.00**

Works Description: Wash Hand Basin *Fabric*

Location: Room 116

Condition / Priority: C / 3

Measurement: 1nr

Surveyors Comments: £350.00

Plaster behind sink exposed from paint peeling.

Works Description: Render/Plaster *Fabric*

Location: Room 122

Condition / Priority: C / 3

Measurement: 4m2

Surveyors Comments: £100.00

Cracking affecting plaster full length of wall.

Works Description: Timber Cladding *Fabric*

Location: Water tank on roof

Condition / Priority: C / 3

Measurement: 40m2

Surveyors Comments: £5,200.00

Water tank timber cladding shows signs of wood rot and paint flaking. (2 water tanks on building)

Works Description: Ductwork (Vent/ AC System) *Fabric*

Location: Outside kitchen building A

Condition / Priority: C / 3

Measurement: 1nr

Surveyors Comments: £495.00

Louvred vent has impact damage.

Works Description: Power Outlets

Comp.

Location: Throughout
Condition / Priority: C / 3
Measurement: 750m2

Surveyors Comments:

£51,750.00

Fitted throughout the building power is distributed through the used if surface mounted accessories which look to be in a reasonable condition but should be scheduled for replacement as they have exceed their life expectancy

Works Description: NULL

Comp.

Location: Throughout
Condition / Priority: C / 3
Measurement: 2000m2

Surveyors Comments:

£168,000.00

Majority of the lighting is single surface mounted T8 fittings and surface mounted twin T5 fittings which appear to be in poor condition many of the diffusers are missing and general level of lighting poor.

Works Description: Fire Alarm - Panel & Repeater

Comp. H&S

Location: Fire Alarm Panel
Condition / Priority: C / 3
Measurement: 2500m2

Surveyors Comments:

£55,000.00

Poor and in need of replacement.

Works Description: Further Investigation

Fabric Comp.

Location: Various
Condition / Priority: C / 3
Measurement: 5m2

Surveyors Comments:

£5,000.00

Significant cracking noted both externally and internally, make good and continue to monitor.

Works Description: Kitchen Units Comp.

Location: Home Economics rooms
Condition / Priority: C / 3
Measurement: 10Nr

Surveyors Comments: £35,000.00

Old cookers throughout the home economics rooms. Many with handles broken and missing. Some cupboard doors have been removed due to faulty hinges and them becoming unsafe.

Building B £120,000.00

Works Description: Insitu Concrete Fabric H&S

Location: Front elevation of building
Condition / Priority: C / 3
Measurement: 100m2

Surveyors Comments: £14,000.00

Deterioration to concrete frame, further investigation and repair work required.

Works Description: NULL Comp.

Location: Throughout
Condition / Priority: C / 3
Measurement: 1000m2

Surveyors Comments: £84,000.00

Majority of the lighting is single surface mounted T8 fittings and surface mounted twin T5 fittings which appear to be in poor condition many of the diffusers are missing and general level of lighting poor.

Works Description: Fire Alarm - Panel & Repeater Comp. H&S

Location: Fire alarm panel
Condition / Priority: C / 3
Measurement: 1000m2

Surveyors Comments: £22,000.00

In need of replacement

School Gym

£70,050.00

Works Description: Radiator

Location: Throughout
Condition / Priority: C / 3
Measurement: 15nr

Surveyors Comments:

£4,500.00

Cast iron radiators fitted throughout the block look to be in a poor condition.

Works Description: Fire Alarm - Panel & Repeater

Comp.

Location: Throughout
Condition / Priority: C / 3
Measurement: 400m2

Surveyors Comments:

£8,800.00

Wireless fire alarm panel fitted in the boilers room of the building. The detectors throughout look to be in poor condition and should be scheduled for replacement

Works Description: Power Outlets

Comp.

Location: Throughout
Condition / Priority: C / 3
Measurement: 400m2

Surveyors Comments:

£27,600.00

Surface mounted outlets fitted throughout look to be in a reasonable condition but should be scheduled for replacement

Works Description: LPHW Calorifier

Comp.

Location: Gym
Condition / Priority: D / 4
Measurement: 1nr

Surveyors Comments:

£21,150.00

End of serviceable life

Works Description: Aluminium

Fabric

Location: Guttering

Condition / Priority: C / 3

Measurement: 80lm

Surveyors Comments:

£8,000.00

In poor condition and in need of replacement.

4.0 SUITABILITY

The assessment has been made on a block by block basis, utilising the following criteria against the required areas defined within Building Bulletins 98 and 99. At the time of the survey, the premises were generally empty and there were no teaching staff available for comment. Where no major non-conformities were noted with regard to suitability, the element will be deemed satisfactory.

Suitability Criteria

Environment - The Internal room(s)/area(s) environment in terms of temperature, humidity, fresh air, clean air (if required), lighting levels, day lighting.

Layout/Plan - Layout of room(s)/areas(s) relative to equipment used, ancillary and related room functions, furniture, circulation and access.

Location - The physical location of the room(s)/area(s) relative to the activities that need to use the space, and other spaces these activities need to use. Issues with Foundation year classrooms will be highlighted here

Flexibility - Intrinsic ability of the room(s)/area(s) to be altered, amended or changed in terms of size, environment and layout in response to changing demand - this will be a factor of structural and building services design.

Servicing requirements - Ability of the room(s)/area(s) fittings, furniture and equipment to meet the identified needs of the users, such as electrical capacity, data points etc.

General External Environment - The quality of external surroundings and settings. This could include factors such as footpaths and lighting quality, security perception, building and site appearance, and signage.

Size of Key Rooms - In a direct comparison to the BB98/99 room size guidelines, what is the layout and NIA of the Key Education use rooms.

Principal Areas of Assessment

General Teaching, Halls, Learning Resource Area (Library etc), Staff & Admin, Storage, Dining / Social Areas, Toilets / Changing, Kitchen, Circulation, Science, Art & Technology, Music & Drama, Private Study, Direct Access to External Area, Hard Surface Playing Areas, Soft Landscaped Areas, Access Roads & Paths, Car Parking.

Whole School Suitability Ratings by Block

No.	Block Name	GIA.	F+G Suitability Grading	Existing Suitability
1	Building A	5713	B	
2	Building B	3347	C	
3	School Gym	444	B	
4	Demountable 701&702	50	B	
School			C	C

Suitability Grading

Category A - Good. Facilities suitable for teaching, learning and wellbeing in school.

Category B - Satisfactory. Performing as intended, but does not effectively support the delivery of the curriculum in some areas.

Category C - Poor. Teaching methods inhibited / adverse impact on school organisation.

Category D - Bad. Buildings seriously inhibit the staff's ability to deliver the curriculum

Determining the Overall Suitability Grade

Each element is given an equal weighting for determining the overall suitability grade of a particular block. However each block has been weighted, in a similar vain to that applied to the condition grade. Therefore the size of the block, relative to the total size of the school will have an appropriate impact upon the overall suitability grade

Block Suitability Ratings by Element
Block 1 - Building A - 5713m²

	Score	Comment	Relevant Areas	Img.
Environment	C	General environment of the building is dull with cracking walls, a large amount of damp, paint peeling and not enough light. This makes a poor learning environment. With one of the main elevations being primarily made of glass/infill panels and also south facing, the rooms temperatures are often uncomfortably hot		
Layout / Plan	C	Many of the classrooms including art and home economics can't be accessed via circulation. Have to walk through other classrooms to access them. Block has numerous staircases throughout, sloping site means external access is available on all floors to surrounding sloping playing fields.		
Location	B	Location of the building is good central to the site. All other buildings in close proximity and adjacent the building is the Astro turf courts and 3 tarmac courts. Closest building to playing field on site.		
Flexibility	B	With solid block walls throughout the flexibility of the building is low. The main entrance has had internal stud partitioning installed to create offices and reception space. In larger rooms partitioning could be installed.		
Servicing Requirements	B	Many classrooms benefit from having a overhead projector. Old wooden work desks in some classrooms have uneven work surfaces making it difficult for children to use.		
General External Environment	B	General external environment good although uneven footpaths creates difficulty for disability access. Paths round the school linking to the other buildings on site and within close proximity of courts and school field.		
Size of Key Rooms	C	Size of rooms generally good with large open spaces. The hall is particularly small within the building often making lunchtimes difficult.		
<u>TOTAL</u>	B			

Block Suitability Ratings by Element
Block 2 - Building B - 3347m2

	Score	Comment	Relevant Areas	Img.
Environment	C	General environment of the building is poor with cracking walls, a large amount of damp, paint peeling and not enough light. This makes a poor learning environment. With one of the main elevations being primarily made of glass and infill panels and also south facing, the general environment is uncomfortably hot.		
Layout / Plan	C	Poor circulation around the school as stairs located centrally to the corridor. This creates cross flow of children when going to lessons.		
Location	C	Location of the building good, although due to the two largest elevations being south facing; solar gain to the building is an issue. The elevations are primarily constructed of window units which amplifies this effect.		
Flexibility	C	Being solid plastered walls the flexibility of the building is limited.		
Servicing Requirements	C	Servicing requirements good although within science rooms, the labs have wooden worktops which are damaged and subject to vandalism and meaning pupils will struggle to write on them. Fixed appliances such as cookers and units within home economics require renewing as they currently are not working and/or damaged		
General External Environment	C	General external environment is good but due to the concrete frame suffering from rebar corrosion to the front elevation it makes the building aesthetically poor.		
Size of Key Rooms	B	Good sized classrooms with large sixth form common room.		
<u>TOTAL</u>	C			

Block Suitability Ratings by Element
Block 3 - School Gym - 444m2

	Score	Comment	Relevant Areas	Img.
Environment	B	The gym was undergoing renovation/refurbishment works at time of survey so a true reflection was not given. Upon completion of the works, it is assumed that the environment will be enhanced.		
Layout / Plan	B	Layout of the building is good with access points directly to the changing rooms or access immediately to the main hall.		
Location	B	Location of the building is good directly adjacent the leisure centre and housed on the carpark. Ramped access to the school from block B.		
Flexibility	C	With solid block walls throughout the flexibility of the building is low. The main entrance has had internal stud partitioning installed to create offices and reception space. In larger rooms partitioning could be installed.		
Servicing Requirements	B	Large uninterrupted floor space and changing rooms available means that it is fit for purpose.		
General External Environment	B	External environment is a car park or ramped access up to the main access road to block A and B.		
Size of Key Rooms	C	Size of key rooms good although the changing rooms are small should large sized teams (such as a rugby team of 15) were to use them.		
<u>TOTAL</u>	B			

Block Suitability Ratings by Element
Block 4 - Demountable 701&702 - 50m2

	Score	Comment	Relevant Areas	Img.
Environment	B	General environment good. Would benefit from upgraded lighting (as currently strip lighting is used) but current conditions are good. Brightly decorated with work displays and notice boards round the room.		
Layout / Plan	B	Layout of the building is good with two classrooms coming off of one main entrance.		
Location	B	Located centrally between block A and B which makes it easy to access.		
Flexibility	C	It is a purpose built demountable building so it's layout is fixed.		
Servicing Requirements	B	Good with overhead projectors installed to both classrooms. Large amount of space internally to utilise.		
General External Environment	B	Generally good with places to eat immediately outside the main exit. Ramped access to the building available to the side door.		
Size of Key Rooms	B	Both rooms are large with worktops and perimeter benching as workspaces.		
<u>TOTAL</u>	B			

APPENDIX A - DRAWINGS

Achiever/Drawing No:-

1210875

Sheet No:- 1 of 6

Client:- Monmouthshire
County Council

Site Address:-
King Henry VIII Comp. School
Old Hereford Road
Abergavenny

Floor/Area:- Ground













Created By:- K. Johns

Date:- 15-10-07

Revision:- Original

Revision Date:- **-**-**

Key:-

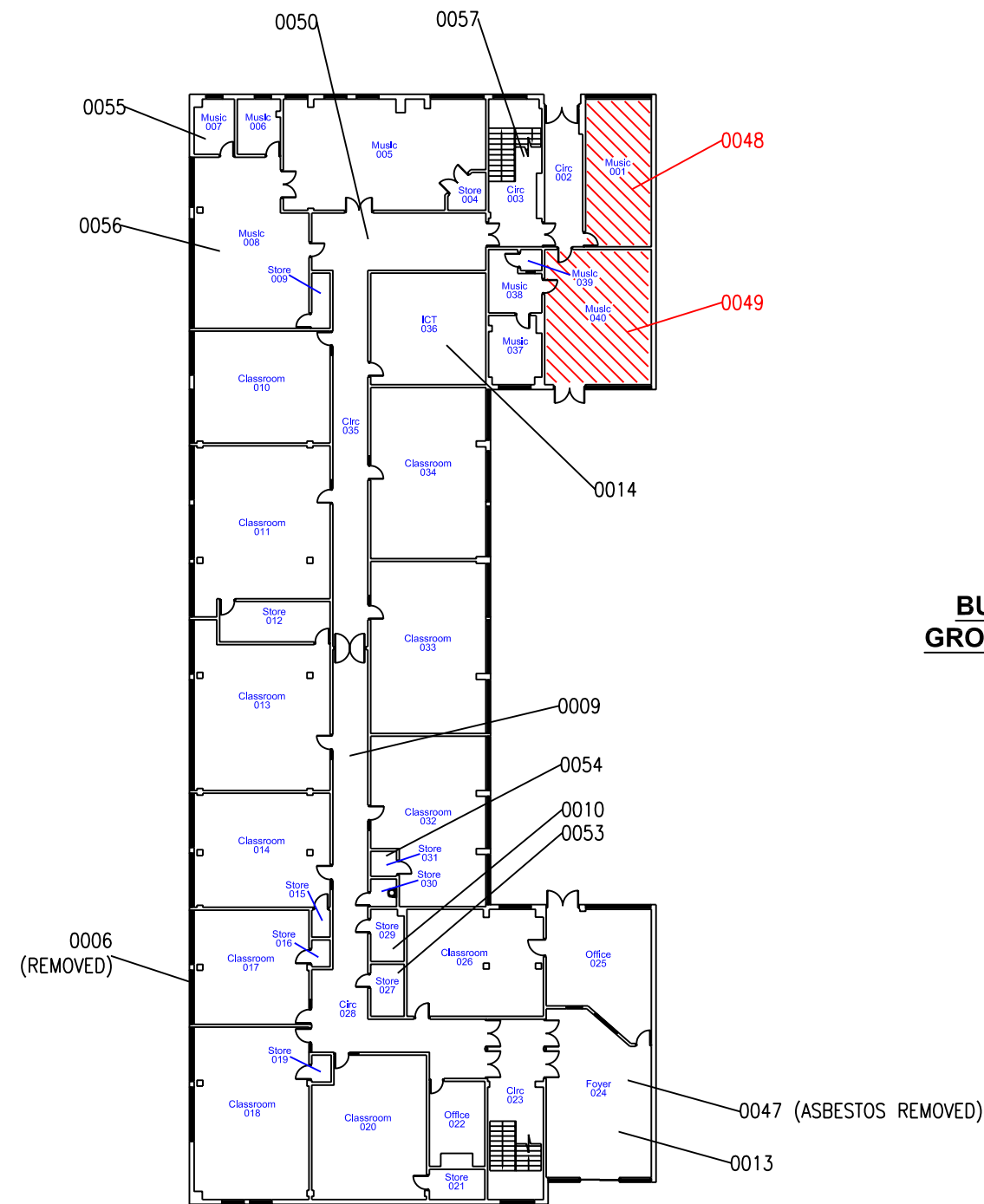
-  Asbestos insulating board
-  Asbestos cement
-  Asbestos lagging
-  Asbestos floor tiles
-  Asbestos artex
-  Asbestos toilet cistern
-  Asbestos gasket/rope
-  Asbestos paper
-  Asbestos bitumen
-  Negative
-  Positive
-  No Access

This plan must be read in conjunction with the accompanying report / database.

NOT TO SCALE



National Britannia Limited,
Britannia House,
Coerphilly Business Park,
Coerphilly
CF83 3GG
Telephone:+44 (0)29 2085 2852
Facimile:+44 (0)29 2086 7738



**BUILDING A
GROUND FLOOR**

Achiever/Drawing No:-
1210875

Sheet No:- 2 of 6

Client:- Monmouthshire
County Council

Site Address:-
King Henry VIII Comp. School
Old Hereford Road
Abergavenny

Floor/Area:- First













Created By:- K. Johns

Date:- 15-10-07

Revision:- Original

Revision Date:- **-**-**

Key:-

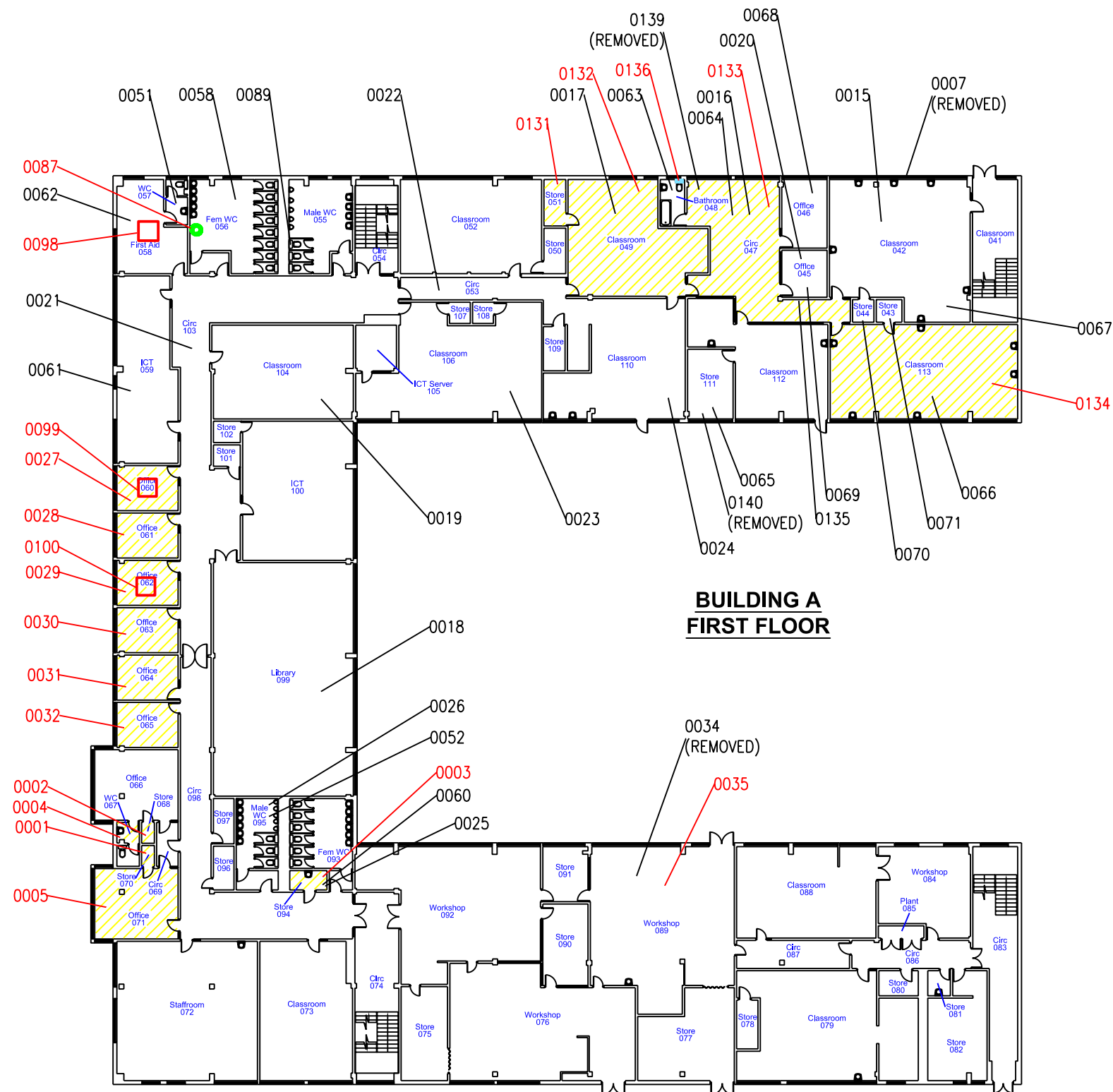
-  Asbestos insulating board
-  Asbestos cement
-  Asbestos lagging
-  Asbestos floor tiles
-  Asbestos artex
-  Asbestos toilet cistern
-  Asbestos gasket/rope
-  Asbestos paper
-  Asbestos bitumen
-  Negative
-  Positive
-  No Access

This plan must be read in
conjunction with the
accompanying report /
database.

NOT TO SCALE



National Britannia Limited,
Britannia House,
Coerphilly Business Park,
Coerphilly
CF83 3GG
Telephone:+44 (0)29 2085 2852
Facimile:+44 (0)29 2086 7738



Achiever/Drawing No:-

1210875

Sheet No:- 3 of 6

Client:- Monmouthshire
County Council

Site Address:-
King Henry VIII Comp. School
Old Hereford Road
Abergavenny

Floor/Area:- Second













Created By:- K. Johns

Date:- 15-10-07

Revision:- Original

Revision Date:- **-**-**

Key:-

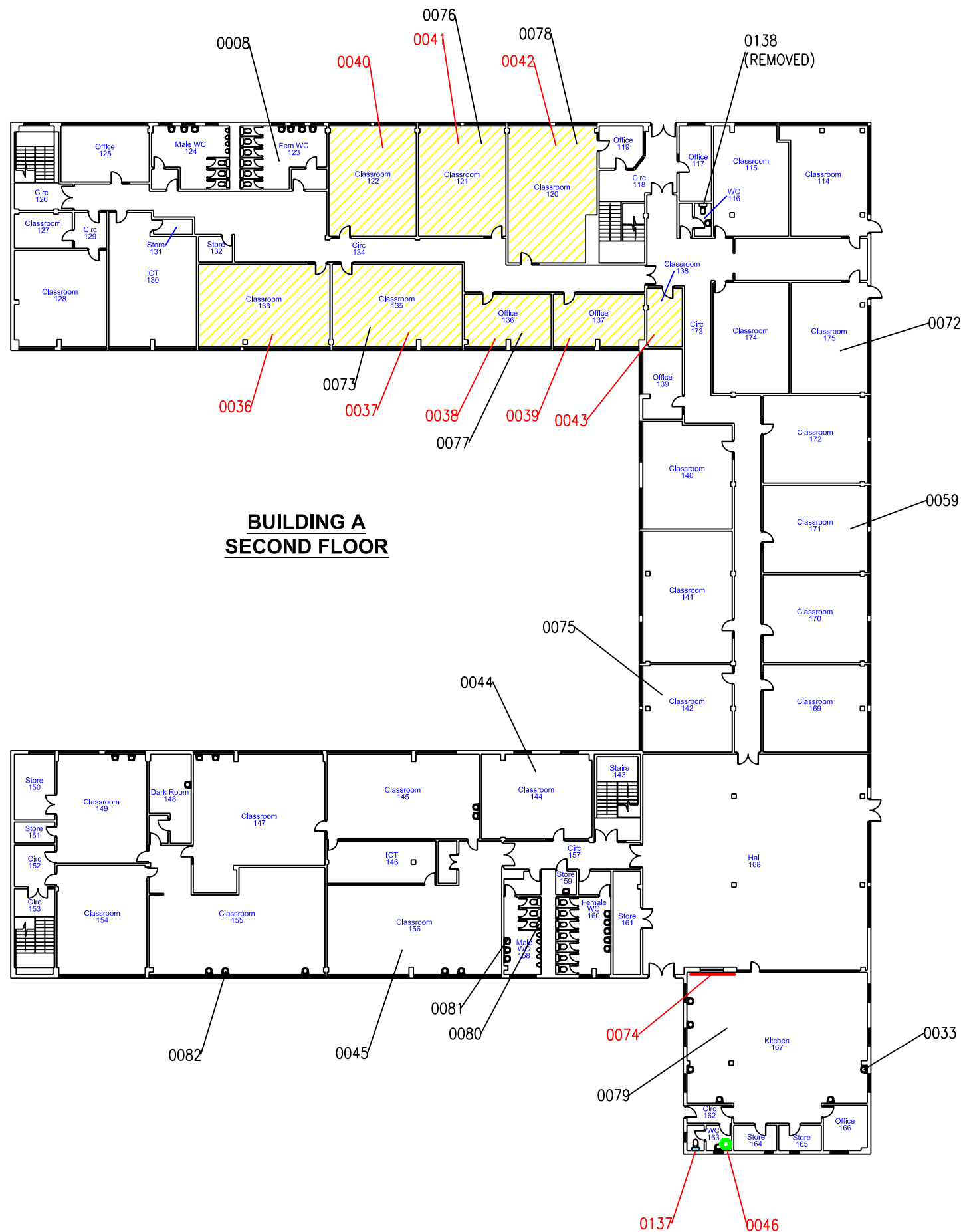
-  Asbestos insulating board
-  Asbestos cement
-  Asbestos lagging
-  Asbestos floor tiles
-  Asbestos artex
-  Asbestos toilet cistern
-  Asbestos gasket/rope
-  Asbestos paper
-  Asbestos bitumen
-  Negative
-  Positive
-  No Access

This plan must be read in conjunction with the accompanying report / database.

NOT TO SCALE



National Britannia Limited,
Britannia House,
Coerphilly Business Park,
Coerphilly
CF83 3GG
Telephone:+44 (0)29 2085 2852
Facimile:+44 (0)29 2086 7738



Achiever/Drawing No:-

1210875

Sheet No:- 4 of 6

Client:- Monmouthshire
County Council

Site Address:-
King Henry VIII Comp. School
Old Hereford Road
Abergavenny

Floor/Area:- Basement and
Ground













Created By:- K. Johns

Date:- 15-10-07

Revision:- Original

Revision Date:- **-**-**

Key:-

-  Asbestos insulating board
-  Asbestos cement
-  Asbestos lagging
-  Asbestos floor tiles
-  Asbestos artex
-  Asbestos toilet cistern
-  Asbestos gasket/rope
-  Asbestos paper
-  Asbestos bitumen
-  Negative
-  Positive
-  No Access

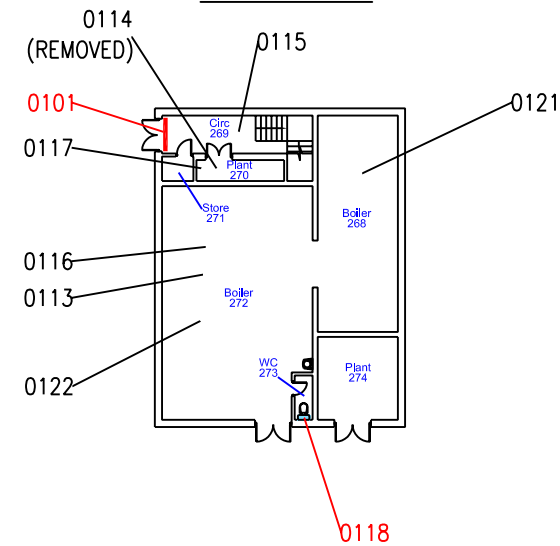
This plan must be read in
conjunction with the
accompanying report /
database.

NOT TO SCALE

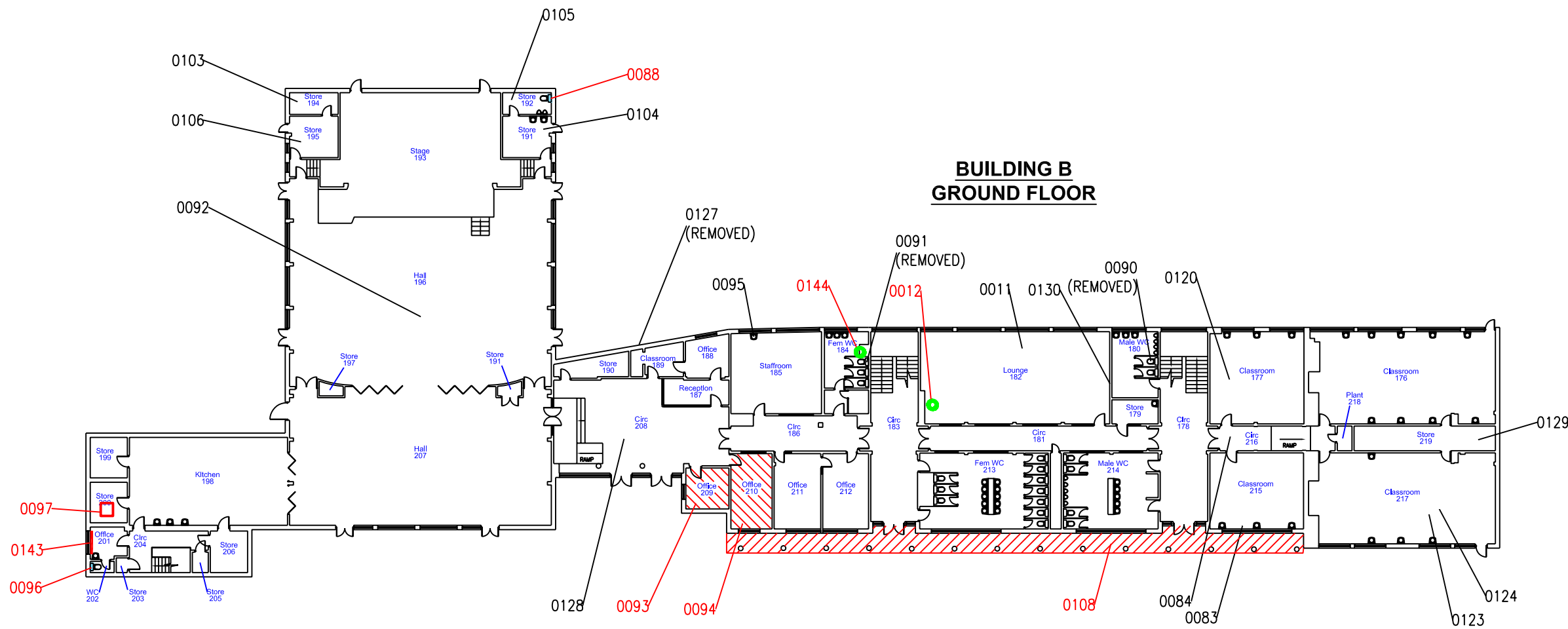


National Britannia Limited,
Britannia House,
Coerphilly Business Park,
Coerphilly
CF83 3GG
Telephone: +44 (0)29 2085 2852
Facimile: +44 (0)29 2086 7738

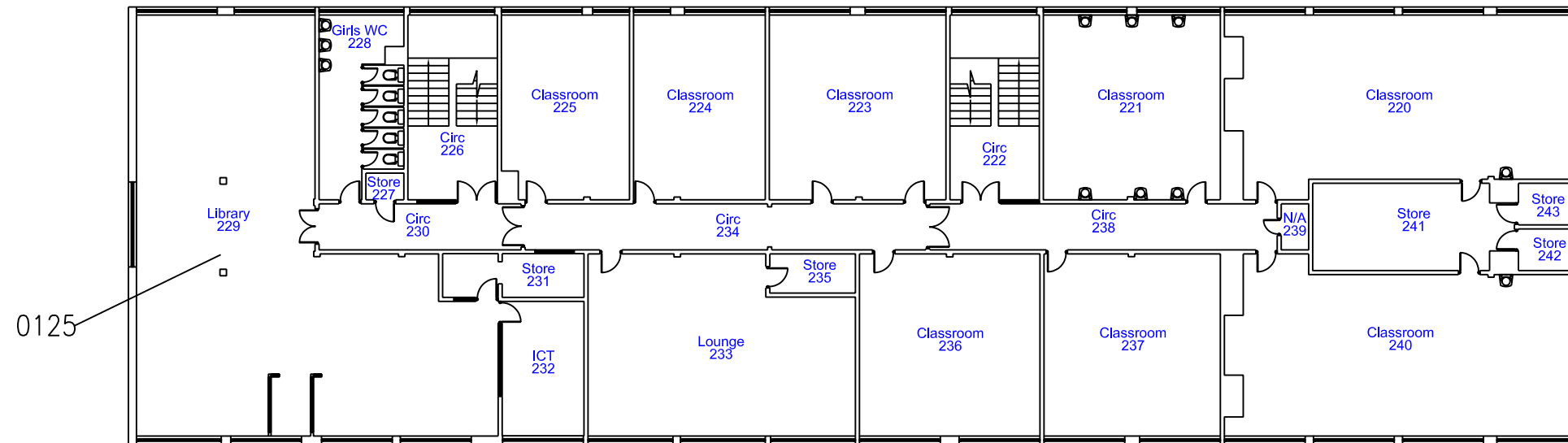
BUILDING B BASEMENT



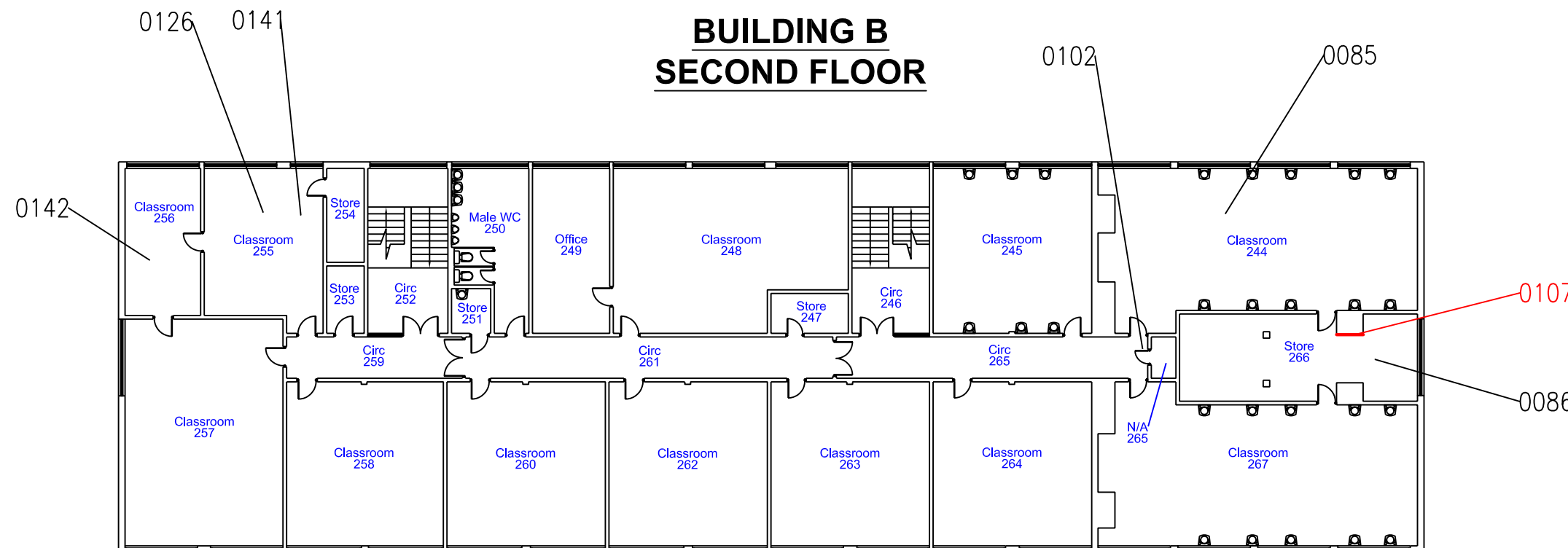
BUILDING B GROUND FLOOR



BUILDING B FIRST FLOOR



BUILDING B SECOND FLOOR



Achiever/Drawing No:-

1210875

Sheet No:- 5 of 6

Client:- Monmouthshire
County Council

Site Address:-
King Henry VIII Comp. School
Old Hereford Road
Abergavenny

Floor/Area:- First and
Second

Created By:- K. Johns

Date:- 15-10-07

Revision:- Original

Revision Date:- **-**-**

Key:-

- Asbestos insulating board
- Asbestos cement
- Asbestos lagging
- Asbestos floor tiles
- Asbestos artex
- Asbestos toilet cistern
- Asbestos gasket/rope
- Asbestos paper
- Asbestos bitumen
- Negative
- Positive
- No Access

This plan must be read in
conjunction with the
accompanying report /
database.

NOT TO SCALE



National Britannia Limited,
Britannia House,
Coerphilly Business Park,
Coerphilly
CF83 3GG
Telephone: +44 (0)29 2085 2852
Facimile: +44 (0)29 2086 7738

Achiever/Drawing No:-
1210875

Sheet No:- 6 of 6

Client:- Monmouthshire
County Council

Site Address:-
King Henry VIII Comp. School
Old Hereford Road
Abergavenny

Floor/Area:- Ground













Created By:- K. Johns

Date:- 15-10-07

Revision:- Original

Revision Date:- **-**-**

Key:-

-  Asbestos insulating board
-  Asbestos cement
-  Asbestos lagging
-  Asbestos floor tiles
-  Asbestos artex
-  Asbestos toilet cistern
-  Asbestos gasket/rope
-  Asbestos paper
-  Asbestos bitumen
-  Negative
-  Positive
-  No Access

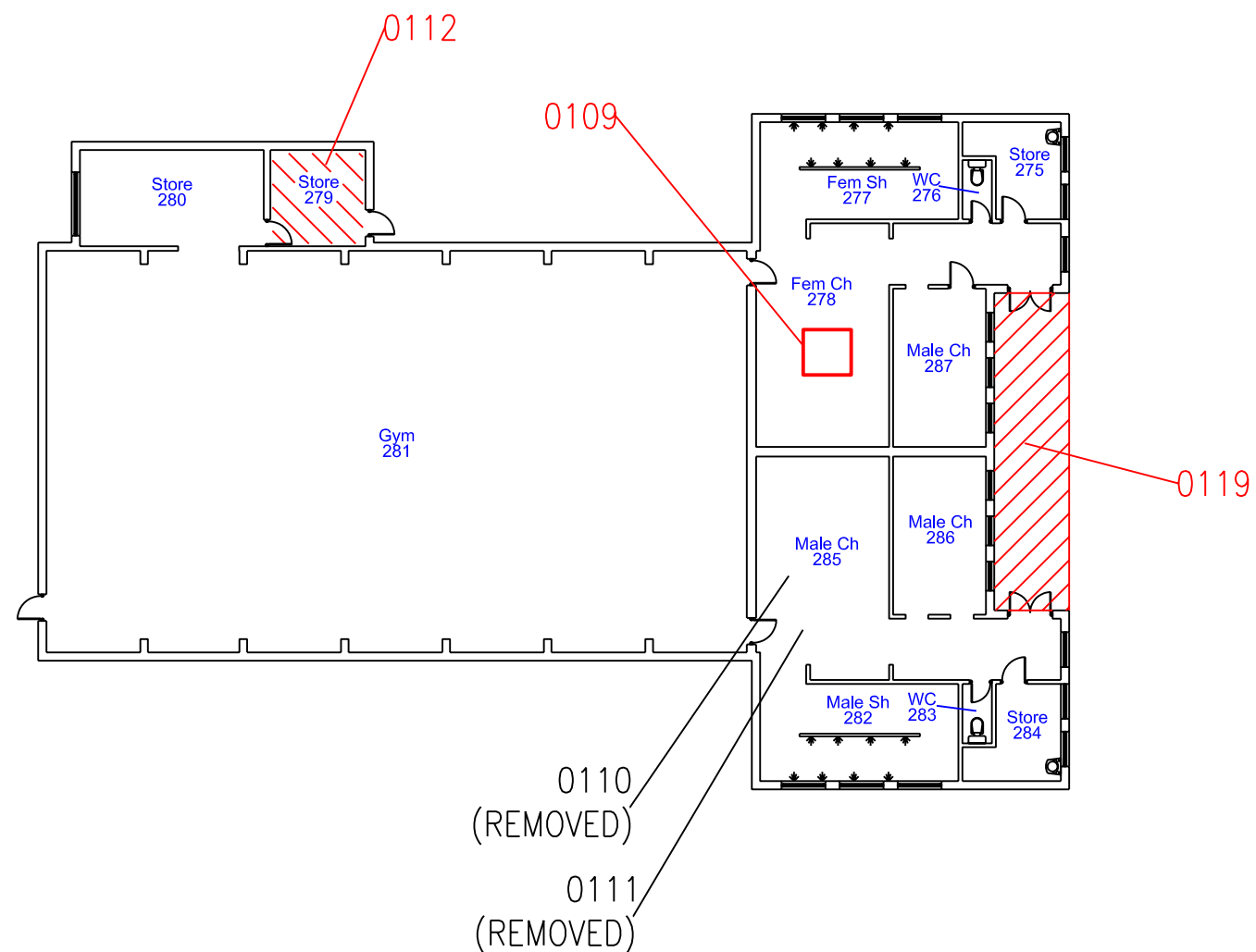
This plan must be read in
conjunction with the
accompanying report /
database.

NOT TO SCALE

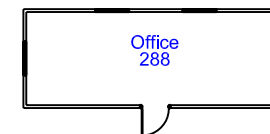


National Britannia Limited,
Britannia House,
Coerphilly Business Park,
Coerphilly
CF83 3GG
Telephone: +44 (0)29 2085 2852
Facimile: +44 (0)29 2086 7738

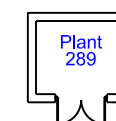
BUILDING C GROUND FLOOR

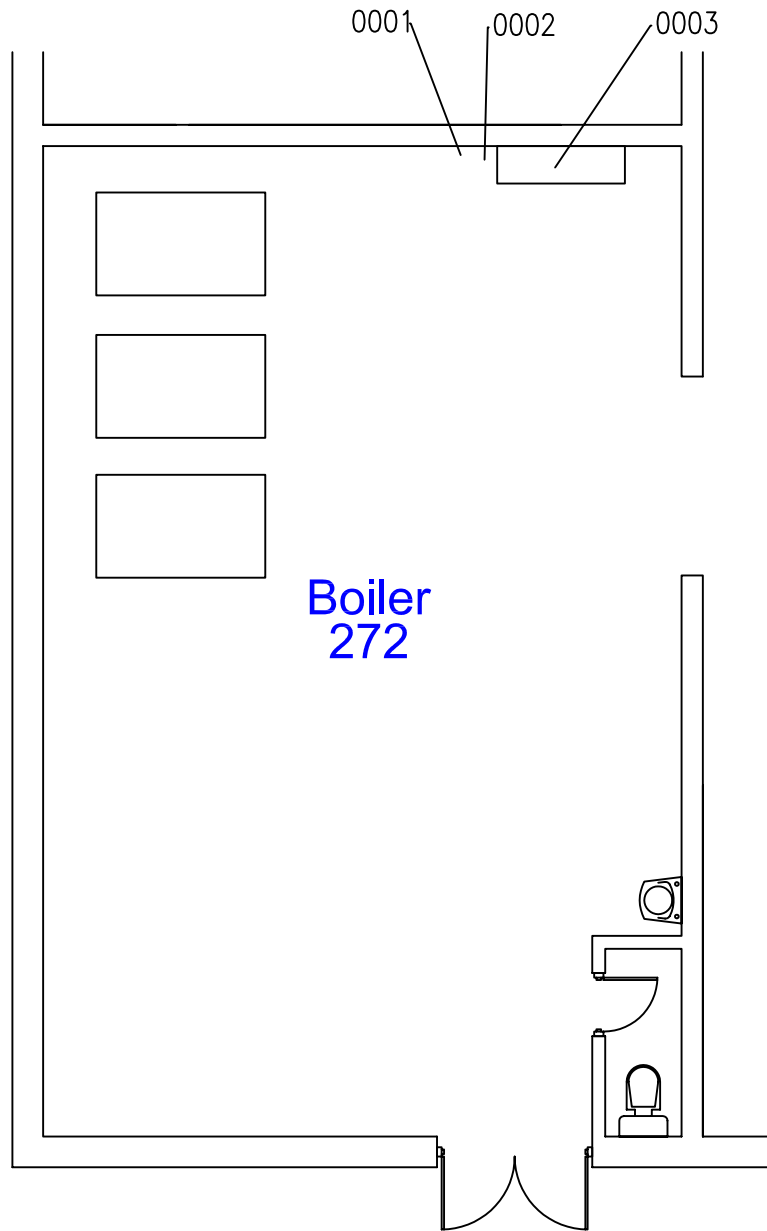


BUILDING D GROUND FLOOR

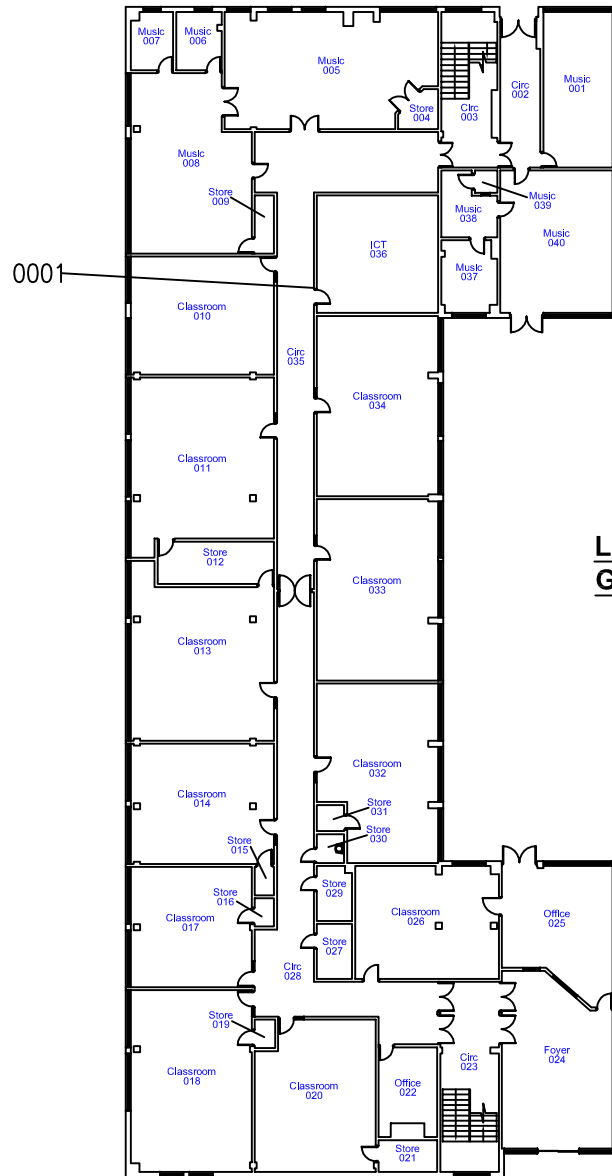


BUILDING E GROUND FLOOR





Achiever/Drawing No:– <u>1408874</u>
Sheet No:– 1 of 1
Client:–Monmouthshire County Council
Site Address:– King Henry VIII Comprehensive School Old Hereford Road Abergavenny NP7 6EP
Floor/Area:– Ground Floor Boiler Room
Created By:– S Powell
Date:– 24–07–09
Revision:–
Revision Date:–
Key:– <ul style="list-style-type: none"> Asbestos insulating board Asbestos cement Asbestos lagging Asbestos floor tiles Asbestos artex Asbestos toilet cistern Asbestos gasket/rope Asbestos paper Asbestos bitumen Negative Positive No Access <p>This plan must be read in conjunction with the accompanying report / database.</p>
NOT TO SCALE
<p>Connaught Compliance Services Ltd, Connaught House, Caerphilly Business Park, Caerphilly. CF83 3GG Telephone:+44 (0)29 2085 2852 Facsimile:+44 (0)29 2086 7738</p>

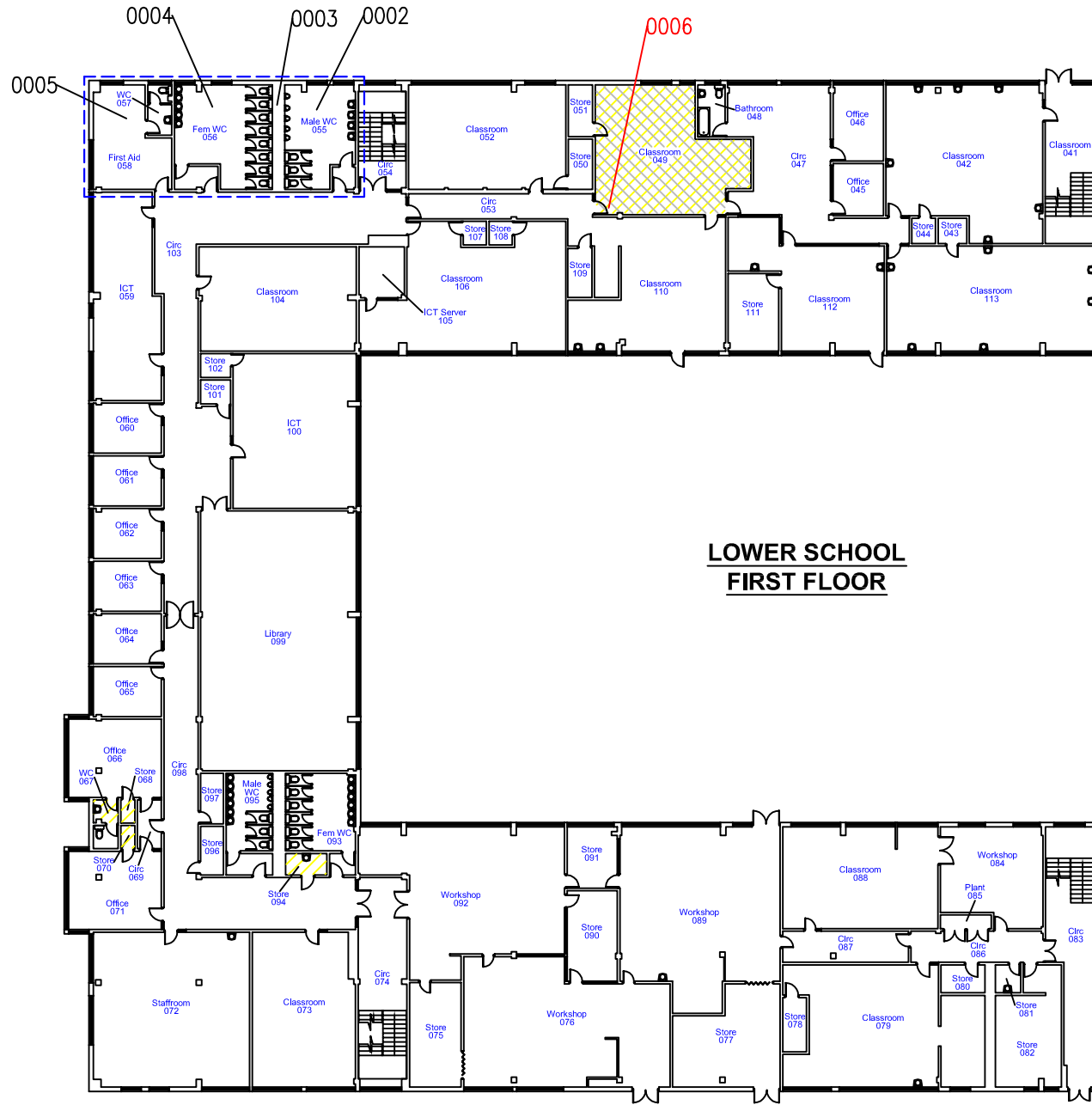


LOWER SCHOOL
GROUND FLOOR

Achiever/ Drawing No:-	1493799
Sheet No:-	1 of 6
Client:-	Monmouthshire County Council
Site Address:-	King Henry VIII Comprehensive School Old Hereford Road Abergavenny NP7 6EP
Floor/ Area:-	Ground Floor
Created By:-	S Powell
Date:-	15/07/10
Revision:-	Original
Revision Date:-	**_**_**
Key:-	<ul style="list-style-type: none"> Asbestos insulating board Asbestos cement Asbestos lagging Asbestos floor tiles Asbestos artex Asbestos toilet cistern Asbestos gasket/rope Asbestos paper Asbestos bitumen Negative Positive No Access Survey Extents <p>This plan must be read in conjunction with the accompanying report/database</p>
NOT TO SCALE	



Connaught Compliance Services Ltd,
Connaught House,
Caerphilly Business Park,
Caerphilly. CF83 3GG
Telephone:+44 (0)29 2085 2852
Facsimile:+44 (0)29 2086 7738



**LOWER SCHOOL
FIRST FLOOR**

Achiever/
Drawing No:- 1493799

Sheet No:- 2 of 6

Client:- Monmouthshire
County Council

Site Address:-
King Henry VIII Comprehensive School
Old Hereford Road
Abergavenny
NP7 6EP

Floor/
Area:- First Floor

Created By:- S Powell

Date:- 15/07/10

Revision:- Original

Revision Date:- **_**_**

- Key:-
- Asbestos insulating board
 - Asbestos cement
 - Asbestos lagging
 - Asbestos floor tiles
 - Asbestos artex
 - Asbestos toilet cistern
 - Asbestos gasket/rope
 - Asbestos paper
 - Asbestos bitumen
 - Negative
 - Positive
 - No Access

--- Survey Extents
This plan must be read in conjunction with the accompanying report/database

NOT TO SCALE



Connaught Compliance Services Ltd,
Connaught House,
Caerphilly Business Park,
Caerphilly. CF83 3GG
Telephone:+44 (0)29 2085 2852
Facsimile:+44 (0)29 2086 7738



Achiever/ Drawing No:-	1493799
Sheet No:-	3 of 6
Client:-	Monmouthshire County Council
Site Address:-	King Henry VIII Comprehensive School Old Hereford Road Abergavenny NP7 6EP
Floor/ Area:-	Second Floor
Created By:-	S Powell
Date:-	15/07/10
Revision:-	Original
Revision Date:-	**_**_**
Key:-	<ul style="list-style-type: none"> Asbestos insulating board Asbestos cement Asbestos lagging Asbestos floor tiles Asbestos artex Asbestos toilet cistern Asbestos gasket/rope Asbestos paper Asbestos bitumen Negative Positive No Access Survey Extents <p>This plan must be read in conjunction with the accompanying report/database</p>
NOT TO SCALE	
<p>Connaught Compliance Services Ltd, Connaught House, Caerphilly Business Park, Caerphilly. CF83 3GG Telephone:+44 (0)29 2085 2852 Facsimile:+44 (0)29 2086 7738</p>	

Achiever/
Drawing No:- 1493799













Sheet No:- 4 of 6

Client:- Monmouthshire
County Council

Site Address:-
King Henry VIII Comprehensive School
Old Hereford Road
Abergavenny
NP7 6EP

Floor/
Area:- Ground Floor

Created By:- S Powell
Date:- 15/07/10
Revision:- Original
Revision Date:- **_**_**

- Key:-
-  Asbestos insulating board
 -  Asbestos cement
 -  Asbestos lagging
 -  Asbestos floor tiles
 -  Asbestos artex
 -  Asbestos toilet cistern
 -  Asbestos gasket/rope
 -  Asbestos paper
 -  Asbestos bitumen
 -  Negative
 -  Positive
 -  No Access

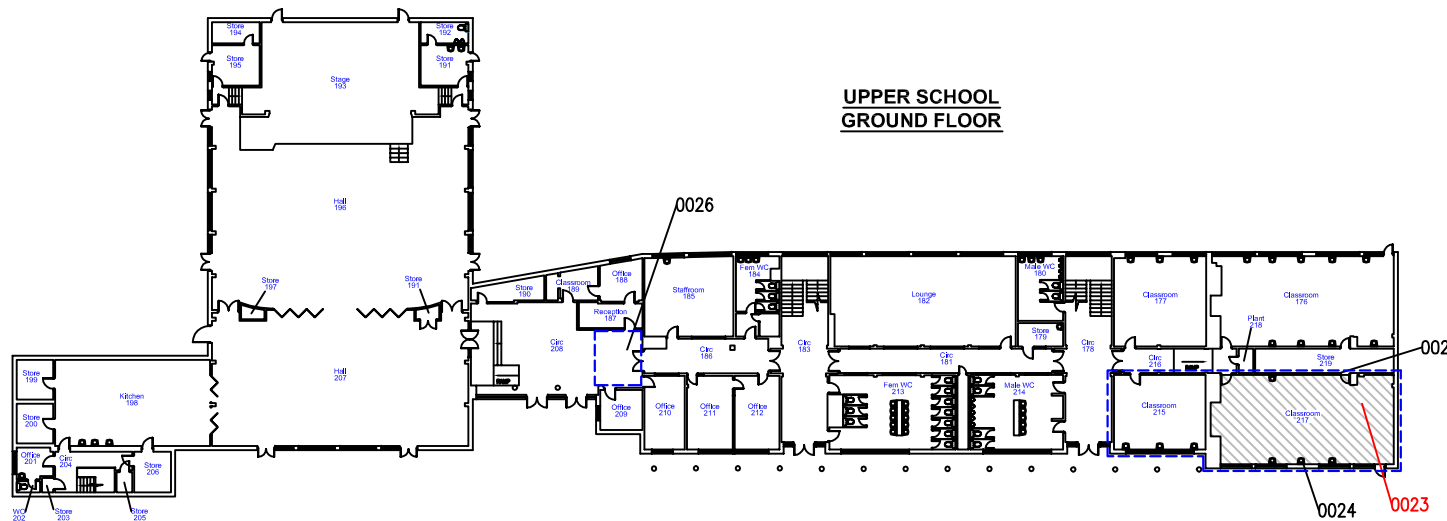
--- Survey Extents

This plan must be read in
conjunction with the
accompanying report/database

NOT TO SCALE



Connaught Compliance Services Ltd,
Connaught House,
Caerphilly Business Park,
Caerphilly. CF83 3GG
Telephone:+44 (0)29 2085 2852
Facsimile:+44 (0)29 2086 7738



Achiever/
Drawing No:- 1493799

Sheet No:- 5 of 6

Client:- Monmouthshire
County Council

Site Address:-
King Henry VIII Comprehensive School
Old Hereford Road
Abergavenny
NP7 6EP

Floor/
Area:- First & Second Floor













Created By:- S Powell

Date:- 15/07/10

Revision:- Original

Revision Date:- **_**_**

Key:-

-  Asbestos insulating board
-  Asbestos cement
-  Asbestos lagging
-  Asbestos floor tiles
-  Asbestos artex
-  Asbestos toilet cistern
-  Asbestos gasket/rope
-  Asbestos paper
-  Asbestos bitumen
-  Negative
-  Positive
-  No Access

--- Survey Extents

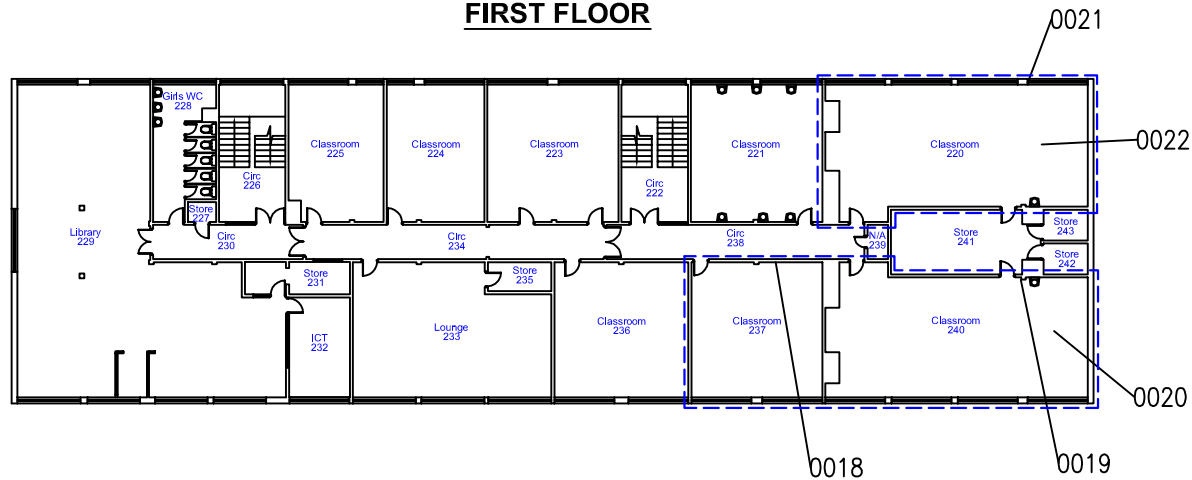
This plan must be read in
conjunction with the
accompanying report/database

NOT TO SCALE

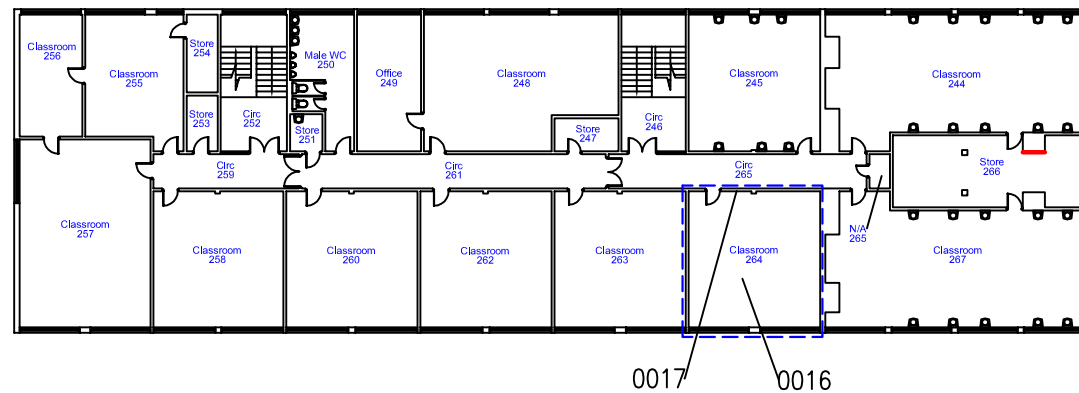


Connaught Compliance Services Ltd,
Connaught House,
Caerphilly Business Park,
Caerphilly. CF83 3GG
Telephone:+44 (0)29 2085 2852
Facsimile:+44 (0)29 2086 7738

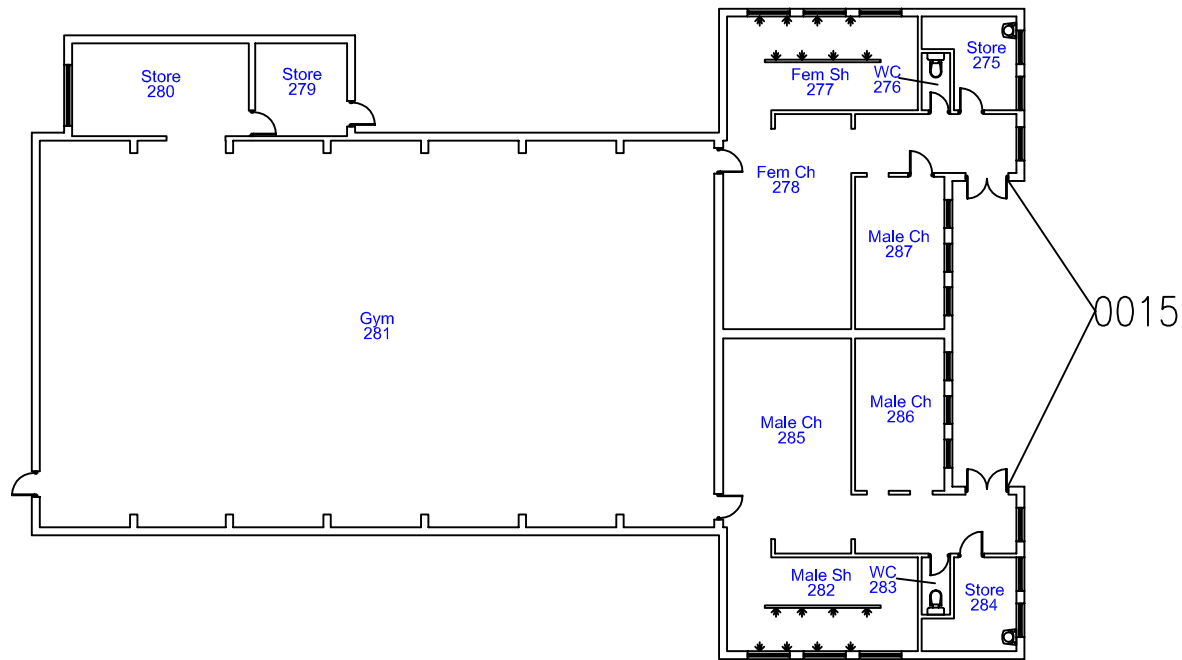
UPPER SCHOOL FIRST FLOOR



UPPER SCHOOL SECOND FLOOR



GYMNASIUM GROUND FLOOR

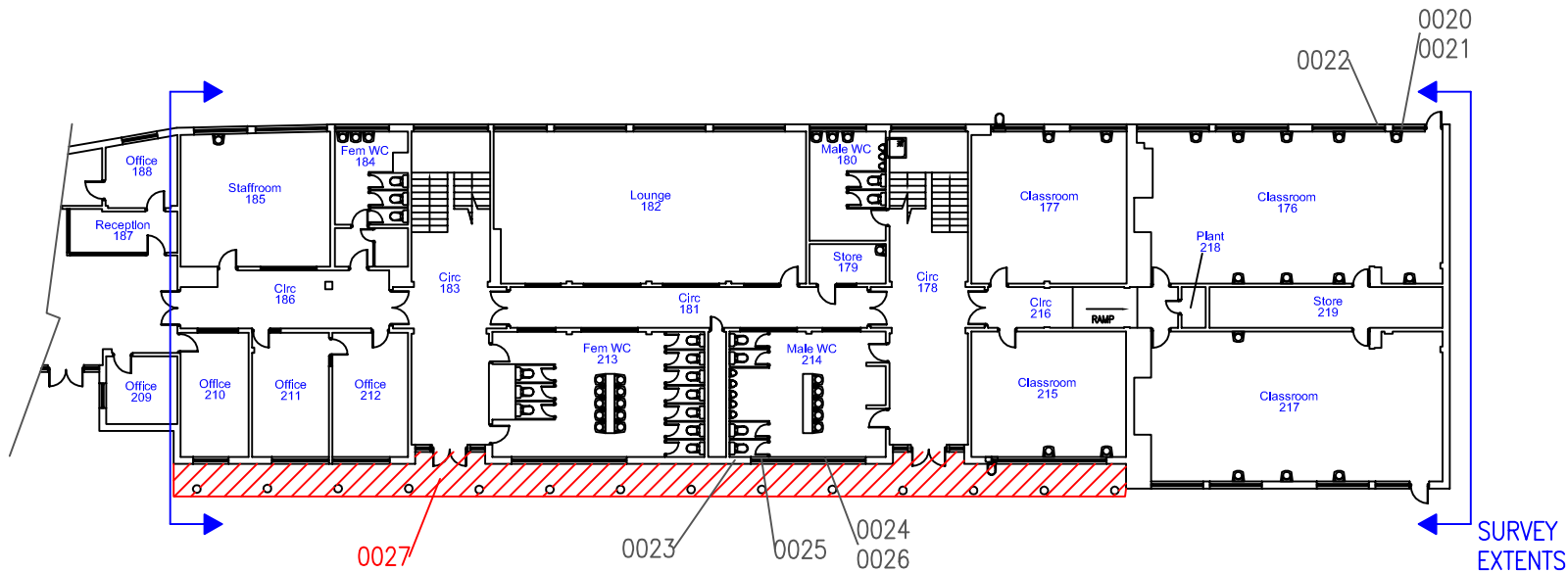


Achiever/ Drawing No:–	1493799
Sheet No:–	6 of 6
Client:–	Monmouthshire County Council
Site Address:–	King Henry VIII Comprehensive School Old Hereford Road Abergavenny NP7 6EP
Floor/ Area:–	Ground Floor
Created By:–	S Powell
Date:–	15/07/10
Revision:–	Original
Revision Date:–	**_**_**
Key:–	<ul style="list-style-type: none"> Asbestos insulating board Asbestos cement Asbestos lagging Asbestos floor tiles Asbestos artex Asbestos toilet cistern Asbestos gasket/rope Asbestos paper Asbestos bitumen Negative Positive No Access Survey Extents
This plan must be read in conjunction with the accompanying report/database	
NOT TO SCALE	



Connaught Compliance Services Ltd,
Connaught House,
Caerphilly Business Park,
Caerphilly. CF83 3GG
Telephone:+44 (0)29 2085 2852
Facsimile:+44 (0)29 2086 7738

UPPER BLOCK GROUND FLOOR



Achiever/
Drawing No:- 1560300

Sheet No:- 1 of 2

Client:- Monmouthshire County
Council

Site Address:-
King Henry VIII Comprehensive
School
Old Hereford Road
Abergavenny
NP7 6EP

Floor/
Area:- All Floors

Created By:- S Powell
Date:- 01/07/2011
Revision:- Original
Revision Date:- **_**_**

Key:-

- Asbestos insulating board
- Asbestos cement
- Asbestos lagging
- Asbestos floor tiles
- Asbestos artex
- Asbestos toilet cistern
- Asbestos gasket/rope
- Asbestos paper
- Asbestos bitumen
- Negative
- Positive
- No Access

This plan must be read in
conjunction with the
accompanying report/database

NOT TO SCALE

santia

Santia Asbestos Management Ltd,
Santia House,
Caerphilly Business Park,
Caerphilly. CF83 3GG
Telephone:+44 (0)29 2085 2852
Facsimile:+44 (0)29 2086 7738

Achiever/
Drawing No:- 1560300

Sheet No:- 2 of 2







Client:- Monmouthshire County
Council



Site Address:-
King Henry VIII Comprehensive
School
Old Hereford Road
Abergavenny
NP7 6EP

Floor/
Area:- All Floors

Created By:- S Powell
Date:- 01/07/2011
Revision:- Original
Revision Date:- **_**_**

Key:-

-  Asbestos insulating board
-  Asbestos cement
-  Asbestos lagging
-  Asbestos floor tiles
-  Asbestos artex
-  Asbestos toilet cistern
-  Asbestos gasket/rope
-  Asbestos paper
-  Asbestos bitumen

-  Negative
-  Positive
-  No Access

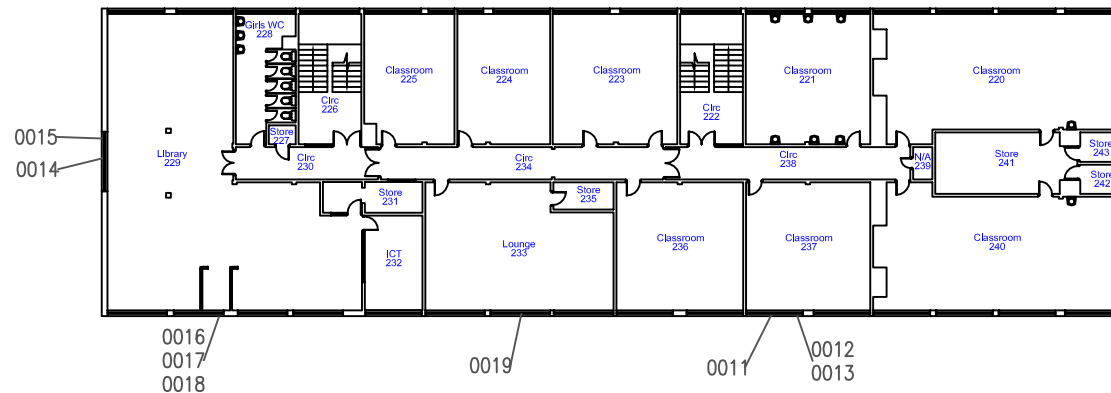
This plan must be read in
conjunction with the
accompanying report/database

NOT TO SCALE

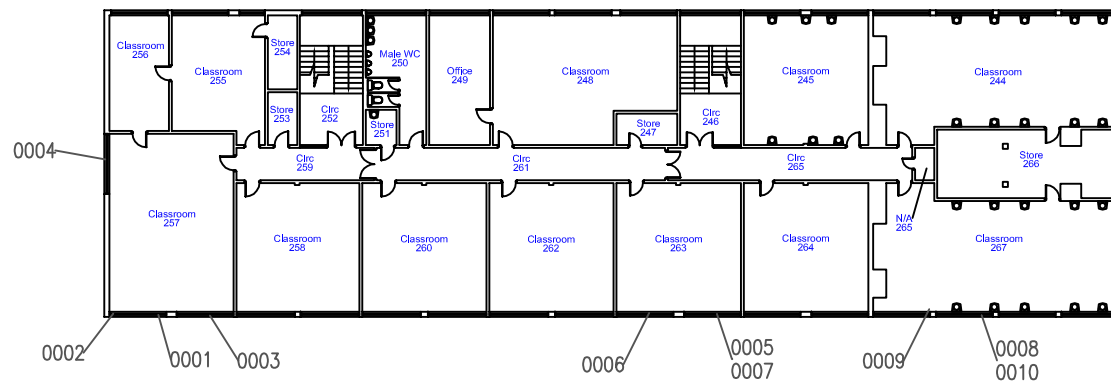

santia

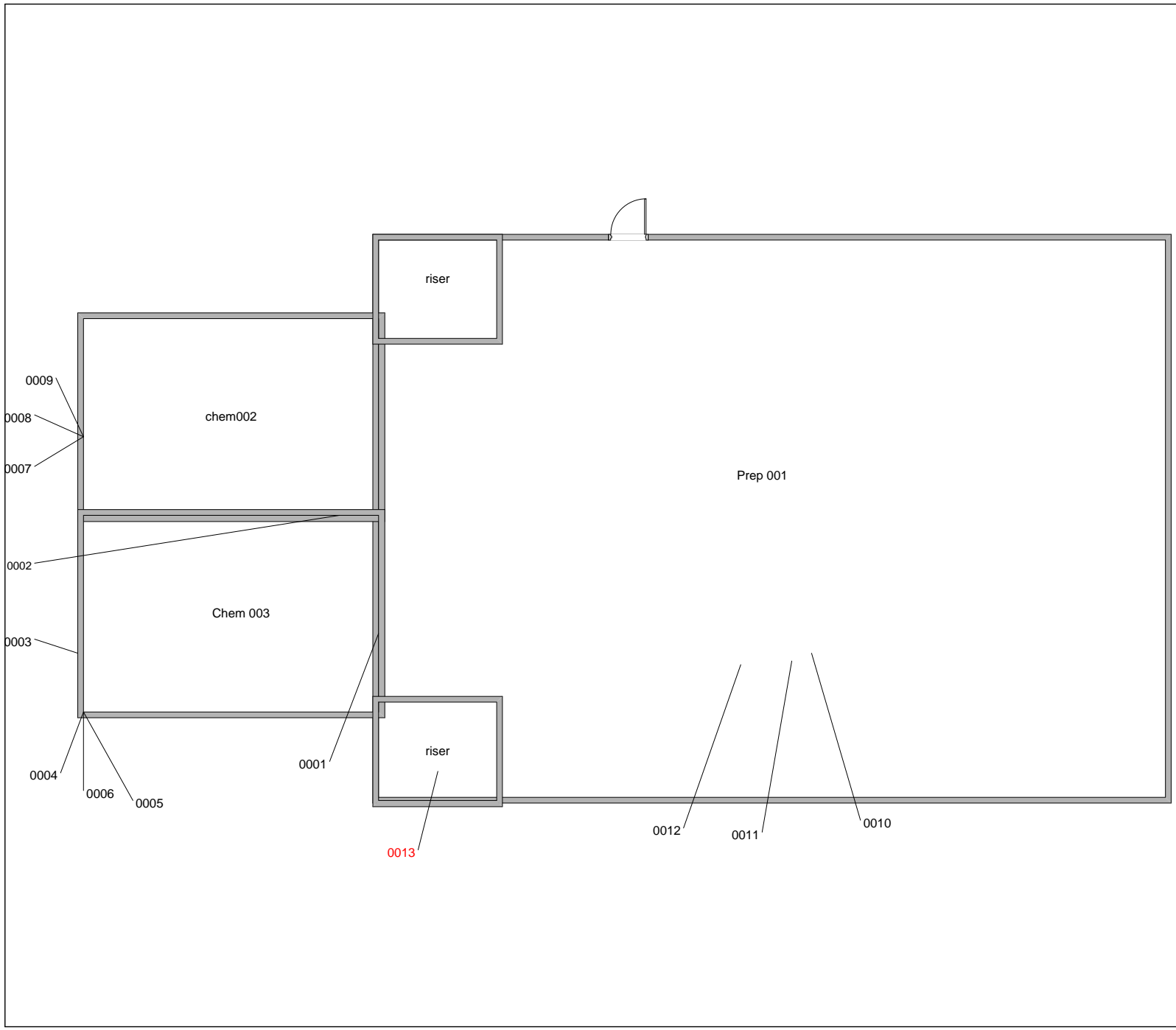
Santia Asbestos Management Ltd,
Santia House,
Caerphilly Business Park,
Caerphilly. CF83 3GG
Telephone:+44 (0)29 2085 2852
Facsimile:+44 (0)29 2086 7738

UPPER BLOCK FIRST FLOOR



UPPER BLOCK SECOND FLOOR





Achiever/Job Number:
1683627

Sheet No. - 1 of 2

**Client: Monmouthshire
County Council**

**Site Address: King Henry
VIII school Old Hereford
road Abergavenny NP7 6EP**

Floor/Area: Ground Floor

Created By: David I Thomas

Date: -24/09/13

Revision: Original

Revision Date: **--****

Key:

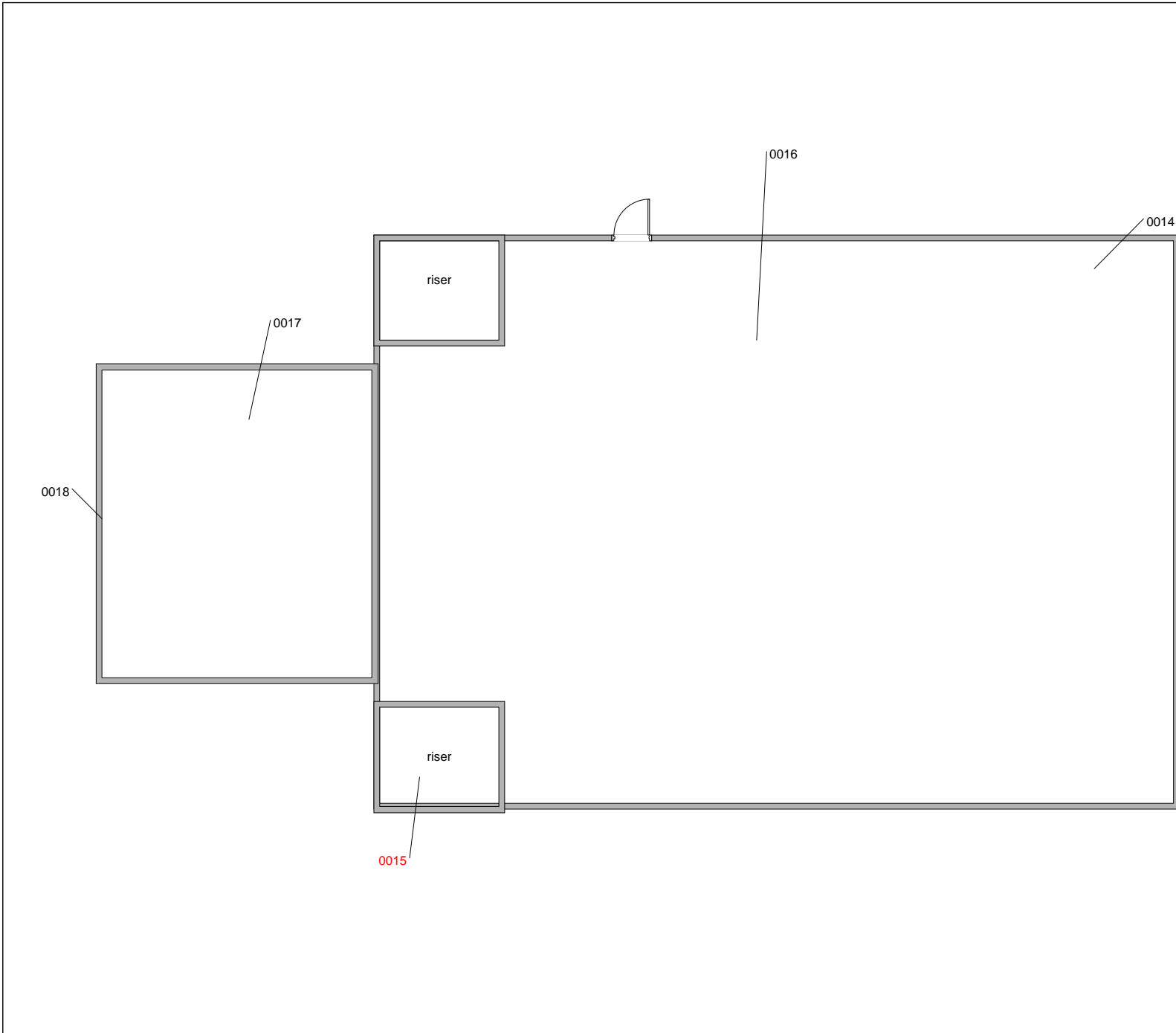
- Negative**
- NSA No Suspect ACM's**
- Positive**
- No Access**

**This plan does not show
the extent of the asbestos
present and must be read
in conjunction with the
accompanying report /
database.**

NOT TO SCALE



Santia Asbestos Management Limited
Santia House
Parc Nangarw
Cardiff.
CF15 7QX
Telephone: +44 (0)29 2085 2852
Facsimile: +44 (0) 29 2086 7738



Achiever/Job Number:
1683627

Sheet No. - 2 of 2

**Client: Monmouthshire
County Council**

**Site Address: King Henry
VIII school Old Hereford
road Abergavenny NP7 6EP**

Floor/Area: first Floor

Created By: David I Thomas

Date: -24/09/13

Revision: Original

Revision Date: **--****

Key:

■ Negative

NSA No Suspect ACM's

■ Positive

■ No Access

**This plan does not show
the extent of the asbestos
present and must be read
in conjunction with the
accompanying report /
database.**

NOT TO SCALE

santia
it's our business to protect

Santia Asbestos Management Limited
Santia House
Parc Nangarw
Cardiff.
CF15 7QX
Telephone: +44 (0)29 2085 2852
Facsimile: +44 (0) 29 2086 7738

Chris Ball

Christopher.ball@fgould.com

Faithful+Gould
4TH Floor, Longcross Court
47 Newport Road
Cardiff
CF24 0AD
Telephone: +44(0) 29 2048 5181
Fax: +44(0) 29 20493 278